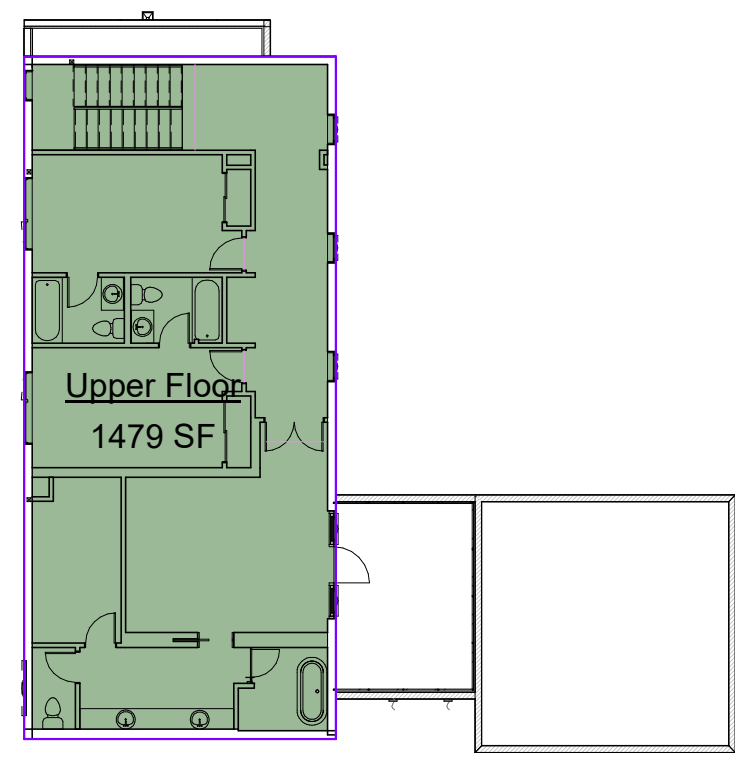
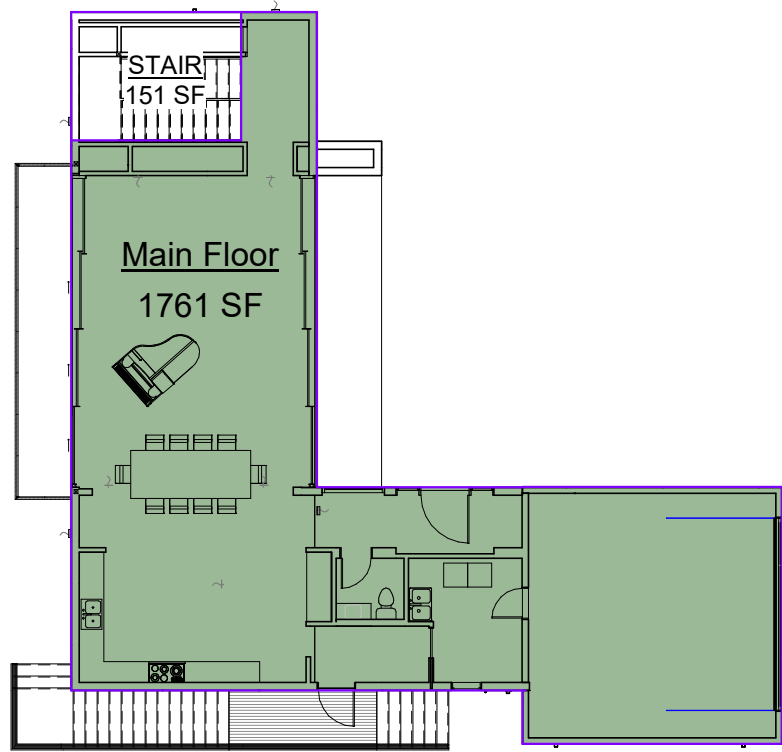


GROSS FLOOR AREA



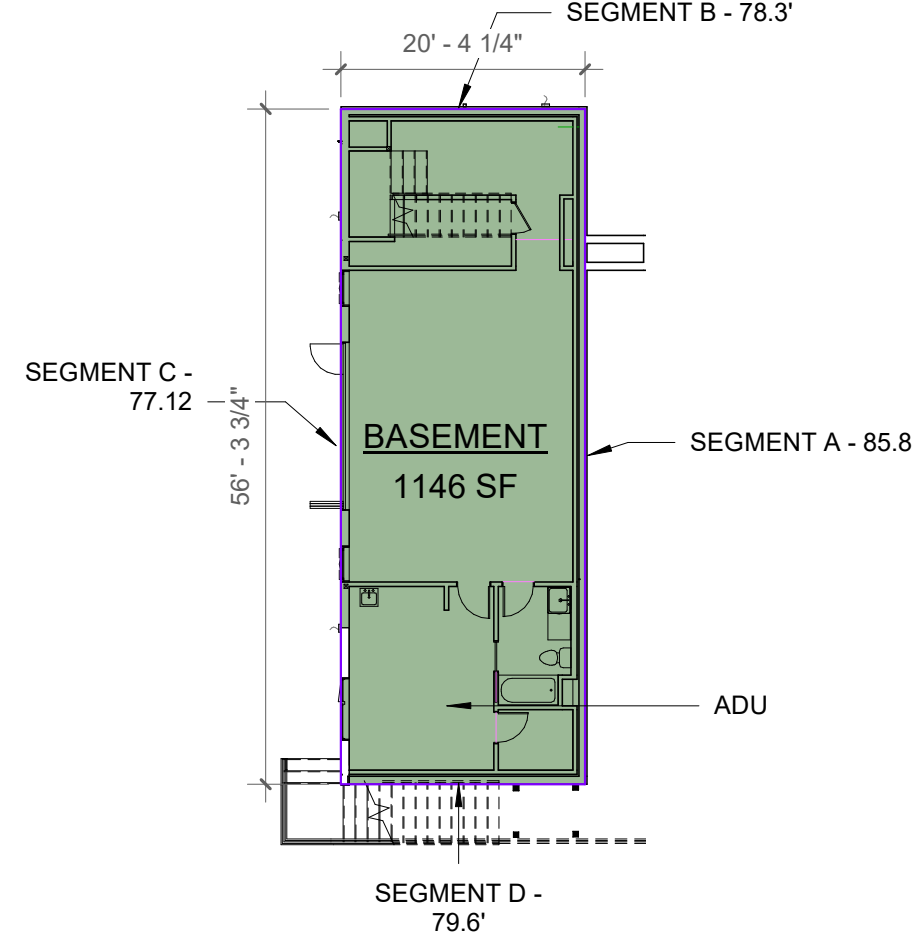
3 UPPER LEVEL

Scale: 1/16" = 1'-0"



2 ENTRY LEVEL

Scale: 1/16" = 1'-0"



SEGMENT	LENGTH	WALL HT	MID-PT GRADE HT	%	WTD
A	35.25	9'	9'	100%	35.25
B	20.083	9'	78.3-77.2=1.1'	12.2%	2.45
C	35.25	9'	77.2-77.2=0'	0%	0
D	20.083	9'	79.6-77.2=2.4'	26.7%	5.36
TOTAL	110.667				43.06

WTD / ACTUAL LENGTH .03891
 CONDITIONED AREA 1146 SF
 AREA COUNTING TOWARD GROSS 700 SF

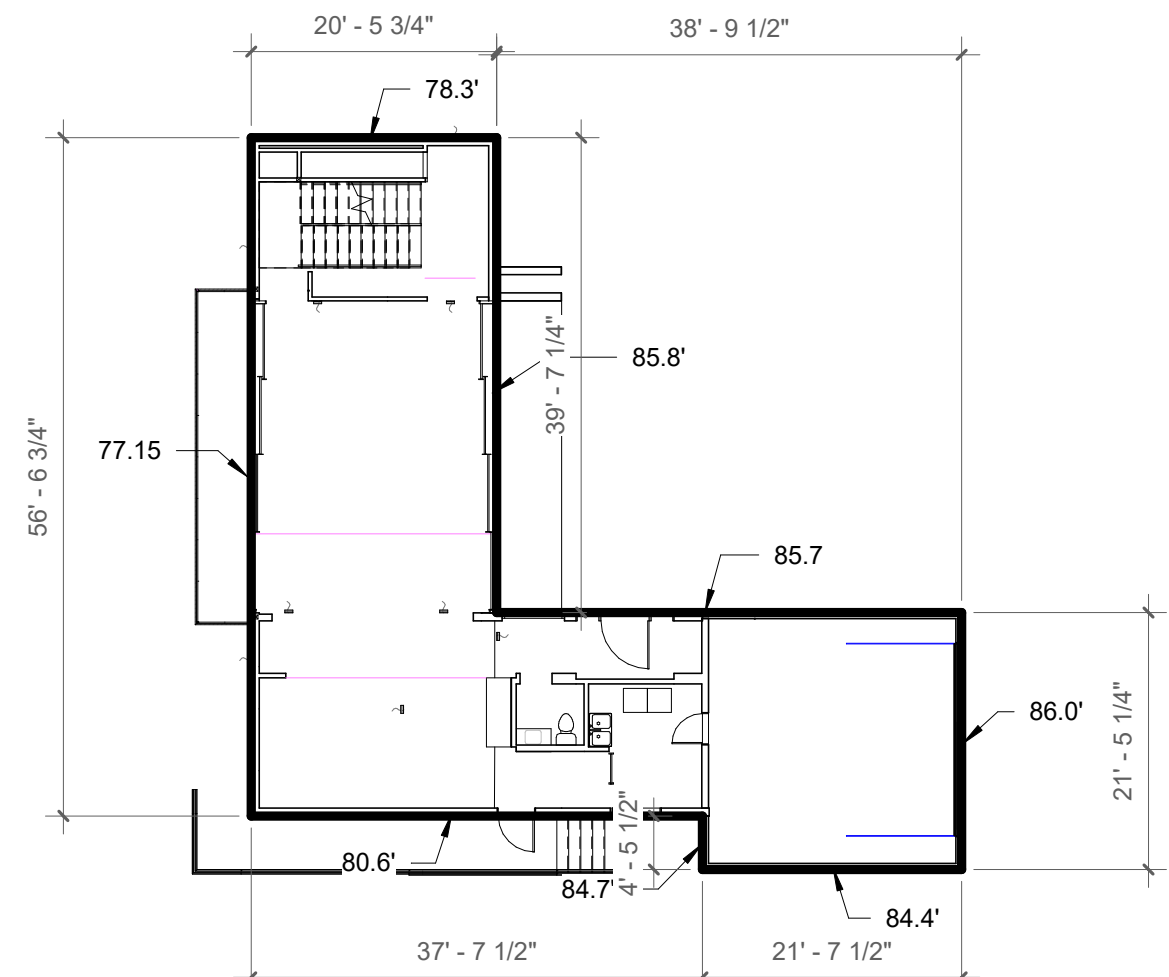
1 BASEMENT LEVEL

Scale: 1/16" = 1'-0"

TOTAL GROSS FLOOR AREA			
LEVEL	GROSS AREA	EXCLUDED AREA	NET GROSS AREA
UPPER	1479SF	0	1479SF
ENTRY	1761SF	0	1761SF
BASEMENT	1146SF	446SF	700SF
TOTAL	4537SF	610SF	3940SF

MAX AREA IS 40%. MAX INCREASES TO 45% WITH PROPOSED ADU.
 MAX GROSS AREA = SITE AREA x 0.45 = 8810 SF x 0.45 = 3964.5SF
 3964.5 SF MAX > 3940 SF PROPOSED, THEREFORE OK

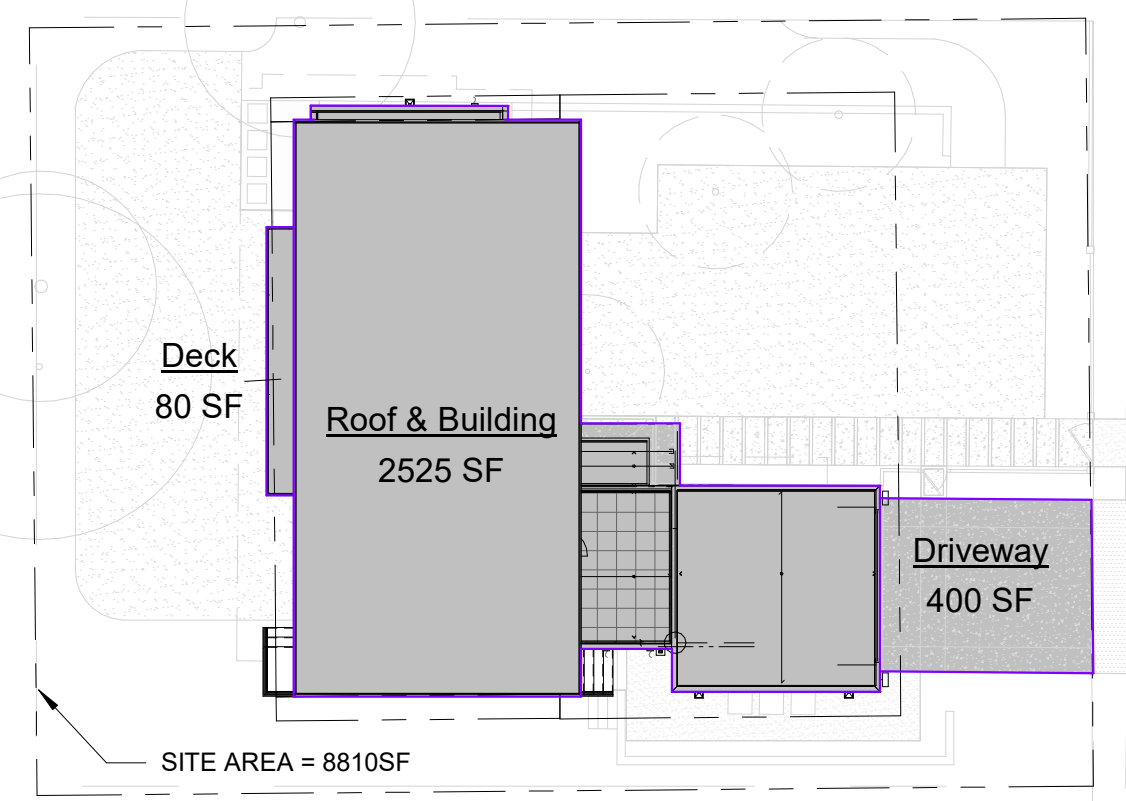
BUILDING HEIGHT



SEGMENT	ELEVATION	LENGTH	L x ELEV.
A	77.15	56.75	4378.26
B	78.3	20.47	1602.80
C	85.8	39.62	3399.39
D	85.7	38.85	3329.44
E	86.0	21.42	1842.12
F	84.4	21.65	1827.26
G	84.7	4.55	385.38
H	80.6	37.65	3034.59
TOTAL		240.96	19799.24

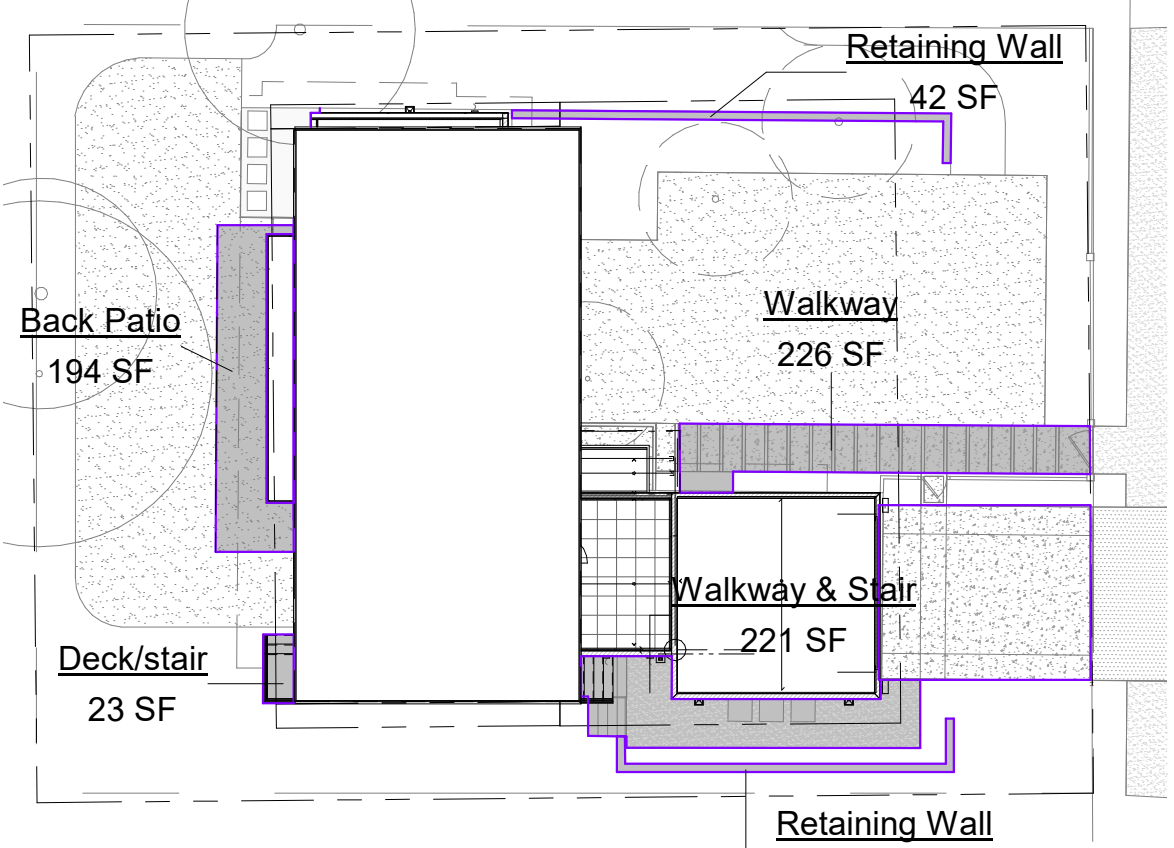
AVERAGE EXISTING GRADE 82.16
 MAX HEIGHT PER CODE 30.0
 MAXIMUM BUILDING HEIGHT 112.18

LOT COVERAGE



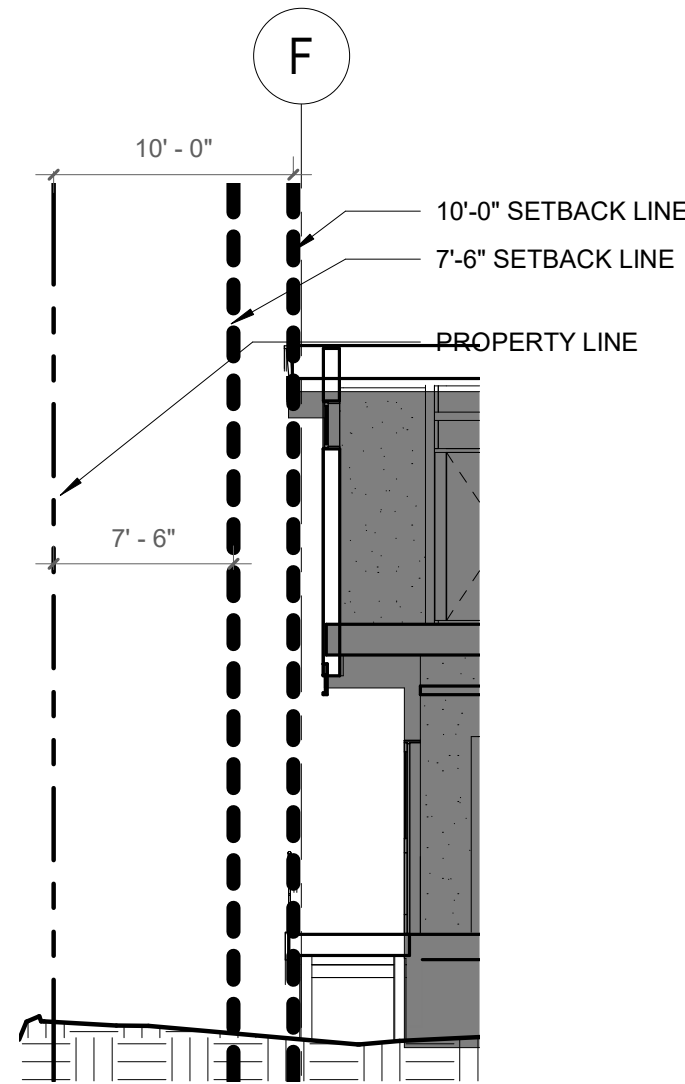
MAX LOT COVERAGE = SITE AREA x 40% = 8810sf x .40 = 3524 SF
 LOT COVERAGE INCLUDES DRIVEWAYS, ROOFS, DECK AND OVERHANGS = 3005 SF
 3005 SF < 3524 SF, THEREFORE OK

HARDSCAPE



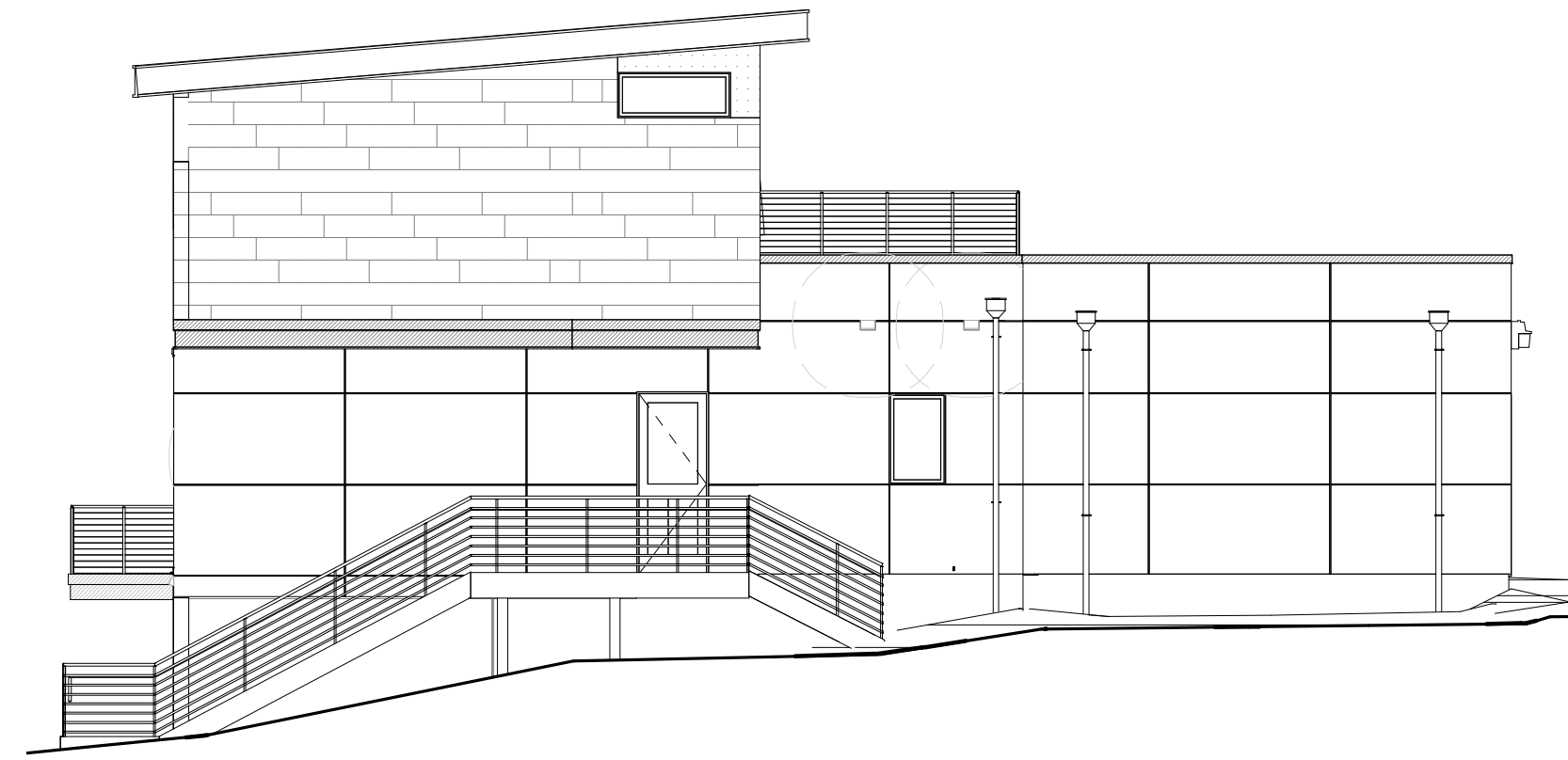
MAX HARDSCAPE = SITE AREA x 9% = 8810sf x .09 = 792.9 SF
 HARDSCAPE INCLUDES PATHWAYS, DECKS, PETIO ETC OUTSIDE OF ROOF OVERHANGS = 743 SF
 743 SF < 792.9 SF, THEREFORE OK

SOUTHERN SIDE YARD SETBACK LINE

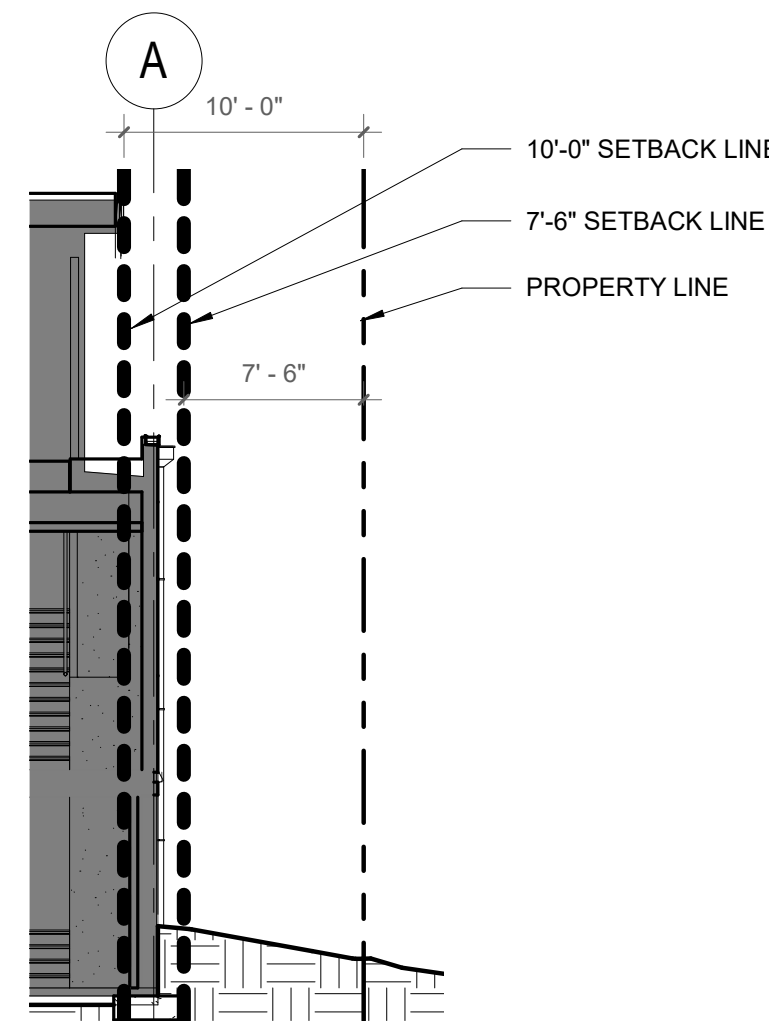


7'-6" SIDE YARD SET BACK LINE APPLY TO GARAGE ROOF SIDE
 10'-0" SIDE YARD SET BACK LINE APPLY TO SLOPED ROOF SIDE

SOUTHERN ELEVATION



NORTHERN SIDE YARD SETBACK LINE



7'-6" SIDE YARD SET BACK LINE APPLY FLAT ROOF SIDE
 10'-0" SIDE YARD SET BACK LINE APPLY TO SLOPED ROOF SIDE

NORTHERN ELEVATION



PROJECT
PAEK RESIDENCE

ADDRESS
2215 80th Ave SE
Mercer Island, WA 98040

CLIENT
Timothy & Elen Paek

No.	Description	Date
4	Permit Revision	08/12/2020
3	Comment 3	Date 3
2	Comment 2	11/26/19
1	Comment 1	08/16/19

REVISIONS
DRAWING STATUS

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.



ARCHITECTURE
 600 108th Ave NE
 Suite 108
 Bellevue WA 98004
 425.559.7888
 contact@mza.us

STAMP

 REGISTERED ARCHITECT
 Ming Zhang
 STATE OF WASHINGTON

DRAWING TITLE
LAND USE CALCULATIONS

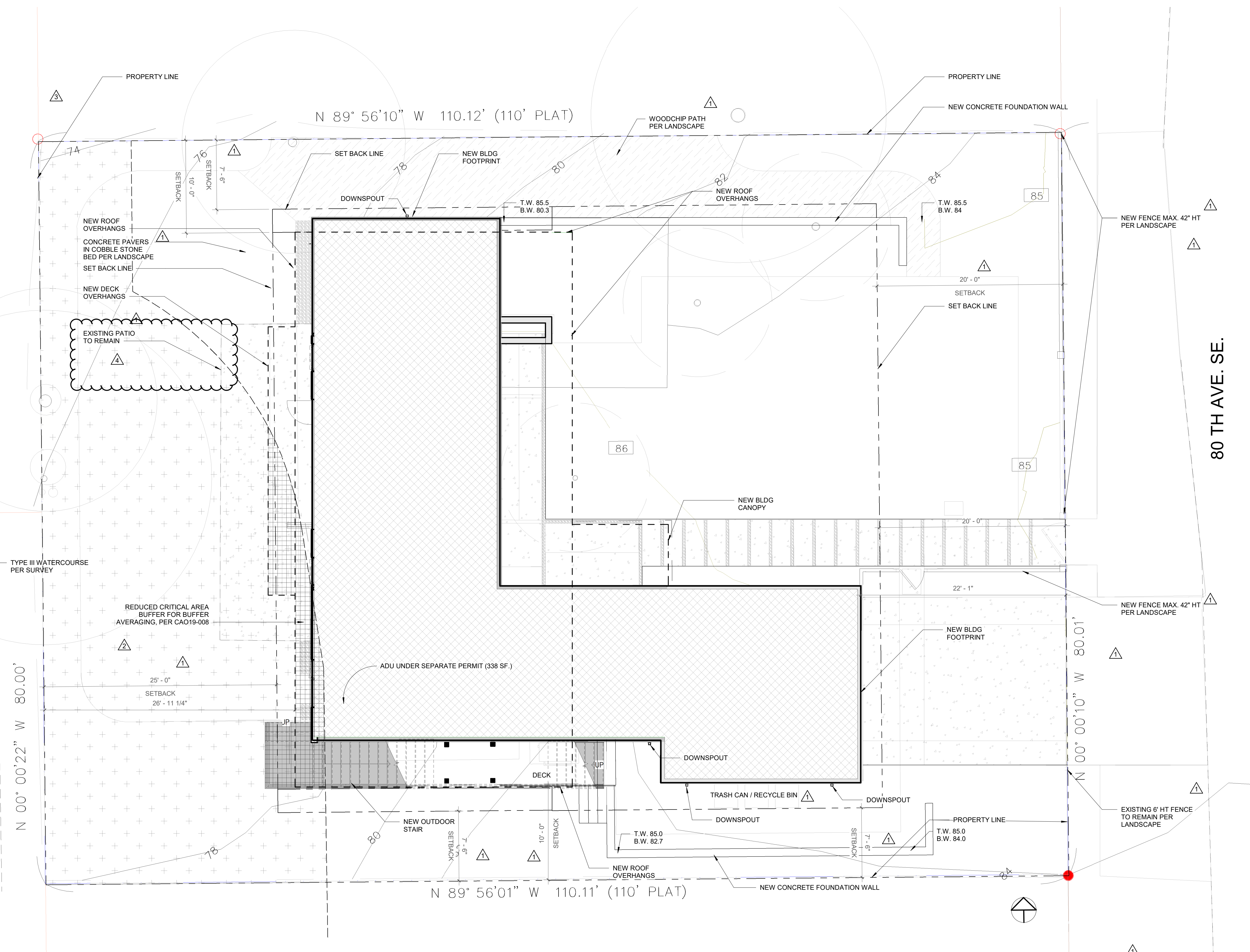
DRAWN Author
DESIGNED Designer

DATE 08/16/19

GRAPHIC SCALE
As indicated


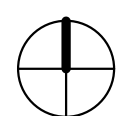
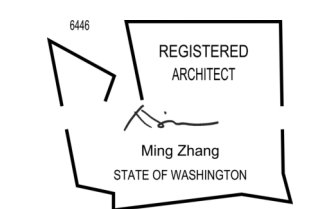
PROJECT NO.
18-009

DRAWING NO. A1.0
REVISION NO. 4



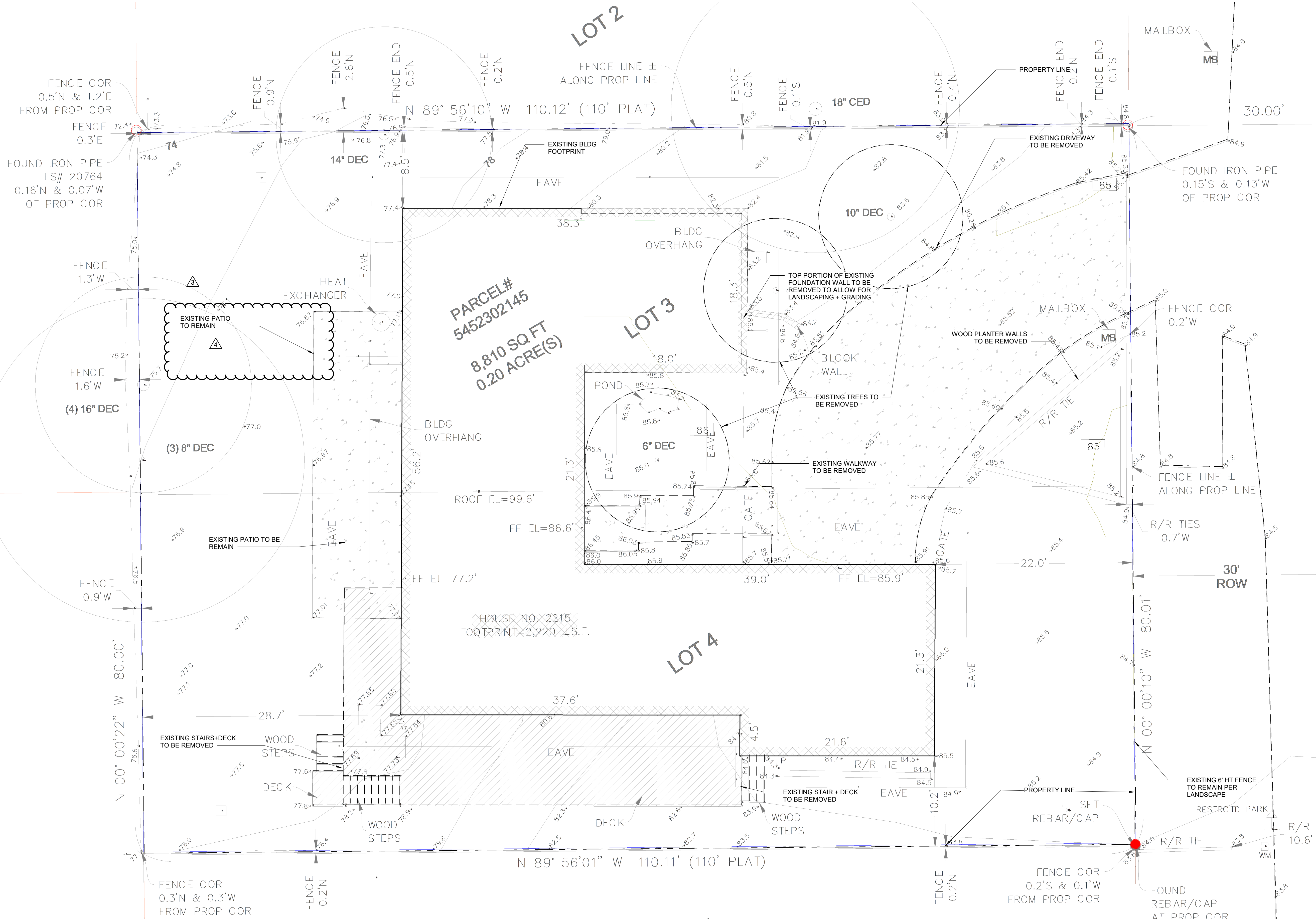
1 Site_02
Scale: 3/16" = 1'-0"

NOTE:
ALL JAPANESE KNOTWEED (POLYGONUM CUSPIDATUM) AND REGULATED CLASS A, REGULATED CLASS B, AND REGULATED CLASS C WEEDS IDENTIFIED ON THE KING COUNTY NOXIOUS WEED LIST AS AMENDED SHALL BE REMOVED FROM THE PROPERTY.


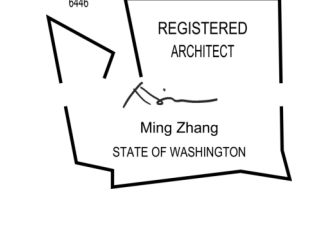
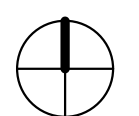
PROJECT PAEK RESIDENCE																	
ADDRESS 2215 80th Ave SE Mercer Island, WA 98040																	
CLIENT Timothy & Elen Paek																	
<table border="1"> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> <tr> <td>4</td> <td>Permit Revision</td> <td>08/12/2020</td> </tr> <tr> <td>3</td> <td>Comment 3</td> <td>Date 3</td> </tr> <tr> <td>2</td> <td>Comment 2</td> <td>11/26/19</td> </tr> <tr> <td>1</td> <td>Comment 1</td> <td>08/16/19</td> </tr> </table>			No.	Description	Date	4	Permit Revision	08/12/2020	3	Comment 3	Date 3	2	Comment 2	11/26/19	1	Comment 1	08/16/19
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REVISIONS																	
DRAWING STATUS																	
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 ARCHITECTURE 600 108th Ave NE Suite 108 Bellevue WA 98004 425.559.7888 contact@mzaus.com																	
STAMP																	
																	
DRAWING TITLE SITE PLAN																	
DRAWN		DESIGNED															
DATE 08/16/19																	
GRAPHIC SCALE 3/16" = 1'-0"																	
PROJECT NO. 18-009																	
DRAWING NO. A1.1		REVISION NO. 4															

24"x36" Arch D - SHEET SIZE

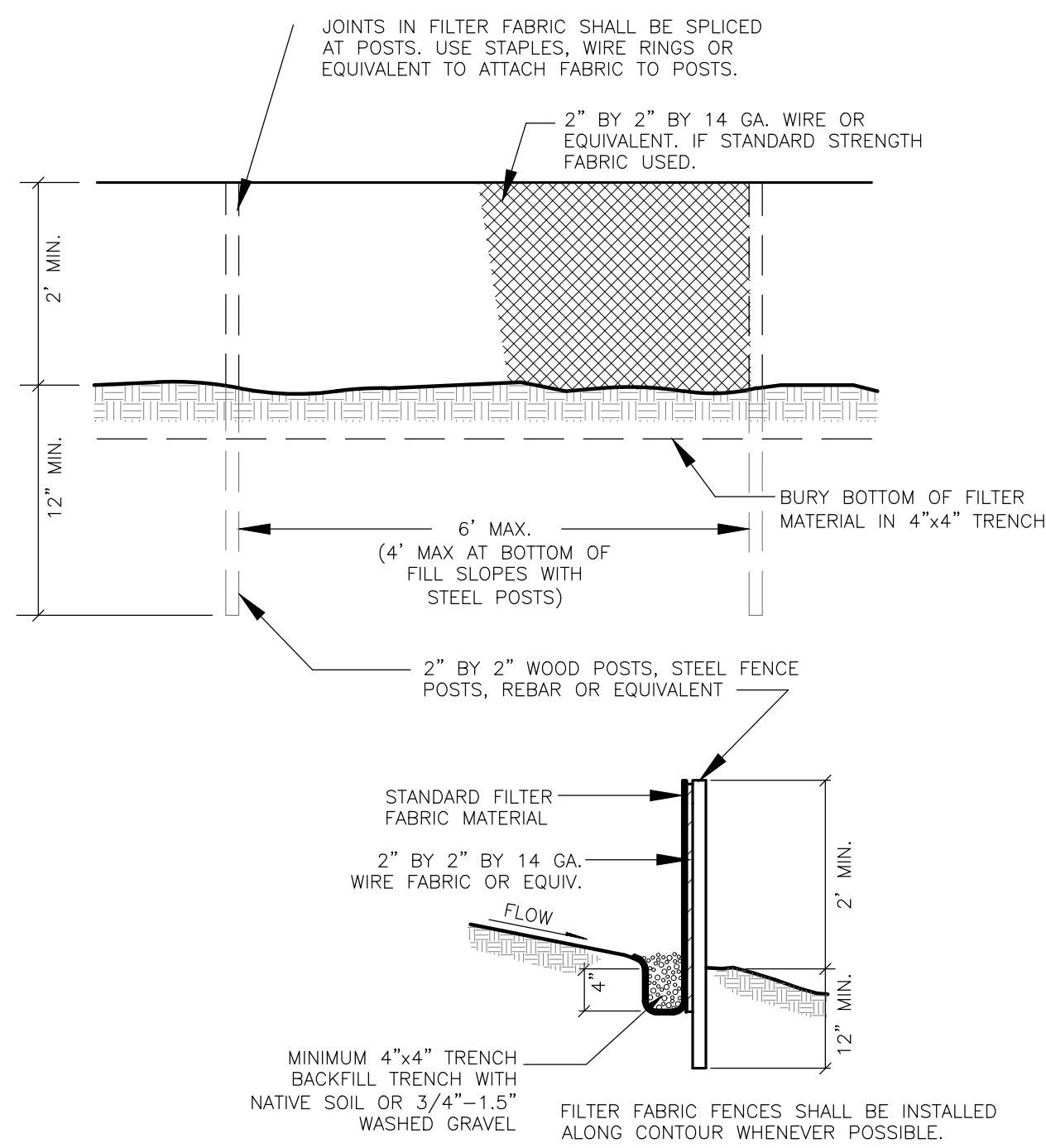
FILE NAME:
PLOT
DATE:



1 SITE PLAN - DEMO
Scale: 3/16" = 1'-0"

PROJECT PAEK RESIDENCE														
ADDRESS 2215 80th Ave SE Mercer Island, WA 98040														
CLIENT Timothy & Elen Paek														
<table border="1"> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> <tr> <td>4</td> <td>Permit Revision</td> <td>08/12/2020</td> </tr> <tr> <td>3</td> <td>Comment 3</td> <td>Date 3</td> </tr> <tr> <td>1</td> <td>Comment 1</td> <td>08/16/19</td> </tr> </table>			No.	Description	Date	4	Permit Revision	08/12/2020	3	Comment 3	Date 3	1	Comment 1	08/16/19
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 <p>M Z A ARCHITECTURE</p> <p>600 108th Ave NE Suite 108 Bellevue WA 98004 425.559.7888 contact@mzaus.com</p>														
STAMP														
														
DRAWING TITLE SITE PLAN - DEMO														
DRAWN Author	DESIGNED Designer													
DATE 08/19/19														
GRAPHIC SCALE 3/16" = 1'-0"														
PROJECT NO. 18-009														
DRAWING NO. A1.2	REVISION NO. 4													

PORTION OF THE SE QUARTER OF SECTION 01, TOWNSHIP 24 N., RANGE 04 E., W.M.



TYPICAL FILTER FENCE DETAIL

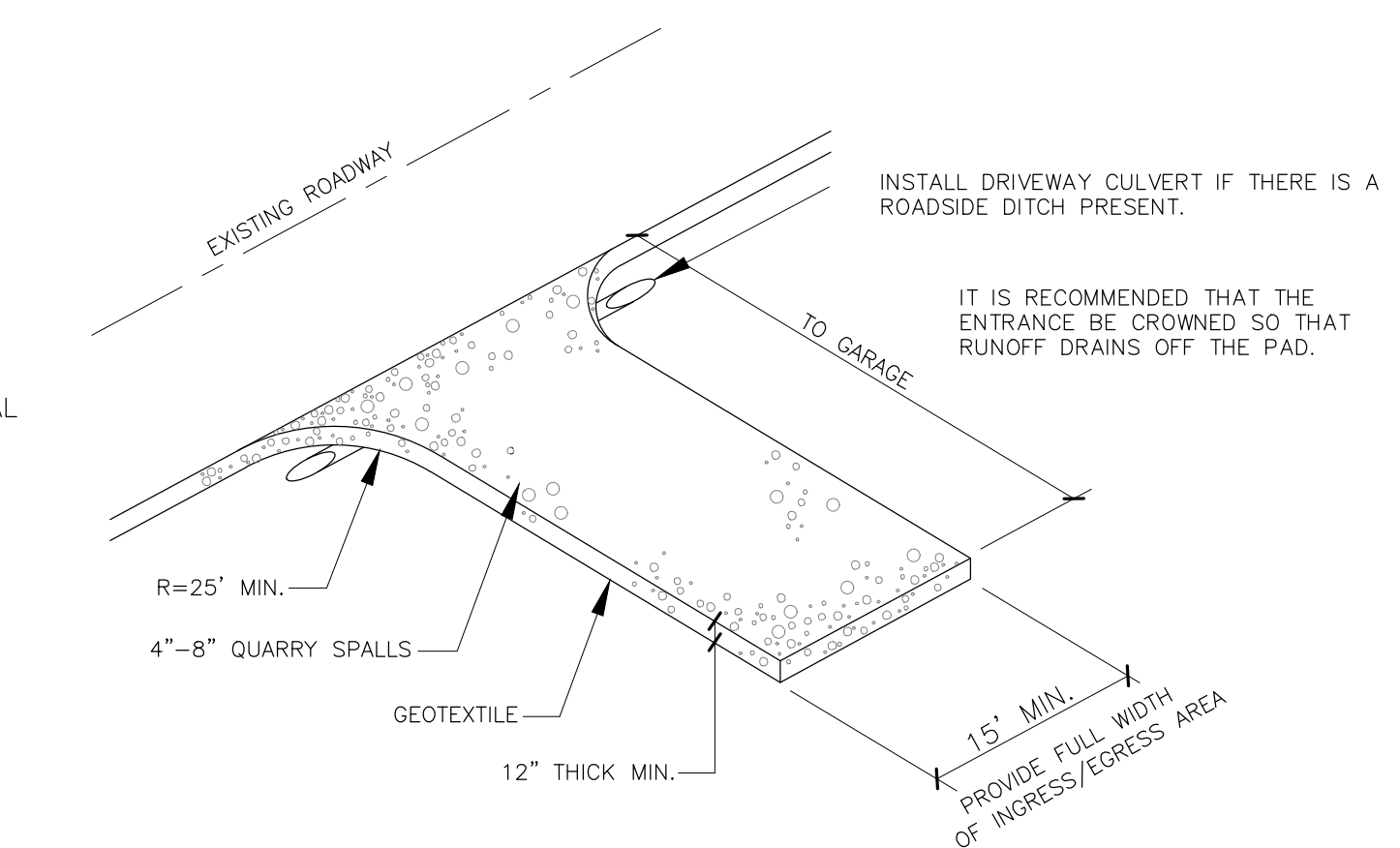
NOT TO SCALE

EROSION CONTROL NOTES

- PROVIDE AND MAINTAIN TEMPORARY SEDIMENTATION COLLECTION FACILITIES TO ENSURE THAT SEDIMENT OR OTHER HAZARDOUS MATERIALS DO NOT ENTER THE STORM DRAINAGE SYSTEM IN ACCORDANCE WITH THE SITE'S APPROVED CSWPPP.
- EXPOSED SOILS SHALL BE WORKED DURING THE WEEK UNTIL THEY HAVE BEEN STABILIZED. SOIL STOCKPILES SHOULD BE SHOWN WITHIN THE DISTURBED AREA SHOWN ON THE SITE PLAN. SOIL EXCAVATED FOR THE FOUNDATION SHALL BE BACKFILLED AGAINST THE FOUNDATION AND GRADED TO DRAIN AWAY FROM THE BUILDING. NO SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS FROM MAY 1 TO SEPTEMBER 30 OR MORE THAN 2 DAYS FROM OCTOBER 1 TO APRIL 30. ONCE THE DISTURBED LANDSCAPE AREAS ARE GRADED, THE GRASS AREAS ARE TO BE AMENDED PER THE SOIL AMENDMENT NOTES ON SHEET C2. ALL STOCKPILES SHOULD BE COVERED WITH PLASTIC OR BURLAP IF LEFT UNWORKED.
- ANY AND ALL POLLUTANTS, CHEMICALS, LIQUID PRODUCTS, AND OTHER MATERIALS THAT HAVE THE POTENTIAL TO POSE A THREAT TO HUMAN HEALTH OR THE ENVIRONMENT SHALL BE COVERED, CONTAINED, AND PROTECTED FROM VANDALISM. ALL SUCH PRODUCTS SHALL BE KEPT UNDER COVER IN A SECURE LOCATION ON SITE. CONCRETE HANDLING (BMP C151), SAWCUTTING (BMP C152), MATERIAL DELIVERY, STORAGE, AND CONTAINMENT (BMP C153), AND CONCRETE WASHOUT AREAS (BMP C154) SHOULD FOLLOW BEST MANAGEMENT PRACTICES AS PROVIDED IN VOLUME II OF THE 2014 SURFACE WATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON.
- BEST MANAGEMENT PRACTICES OR BMPs SHALL BE INSPECTED AND MAINTAINED DURING CONSTRUCTION AND REMOVED WITHIN 30 DAYS AFTER THE CITY INSPECTOR OR ENGINEER DETERMINES THAT THE SITE IS STABILIZED, PROVIDED THAT THEY MAY BE REMOVED WHEN THEY ARE NO LONGER NEEDED.

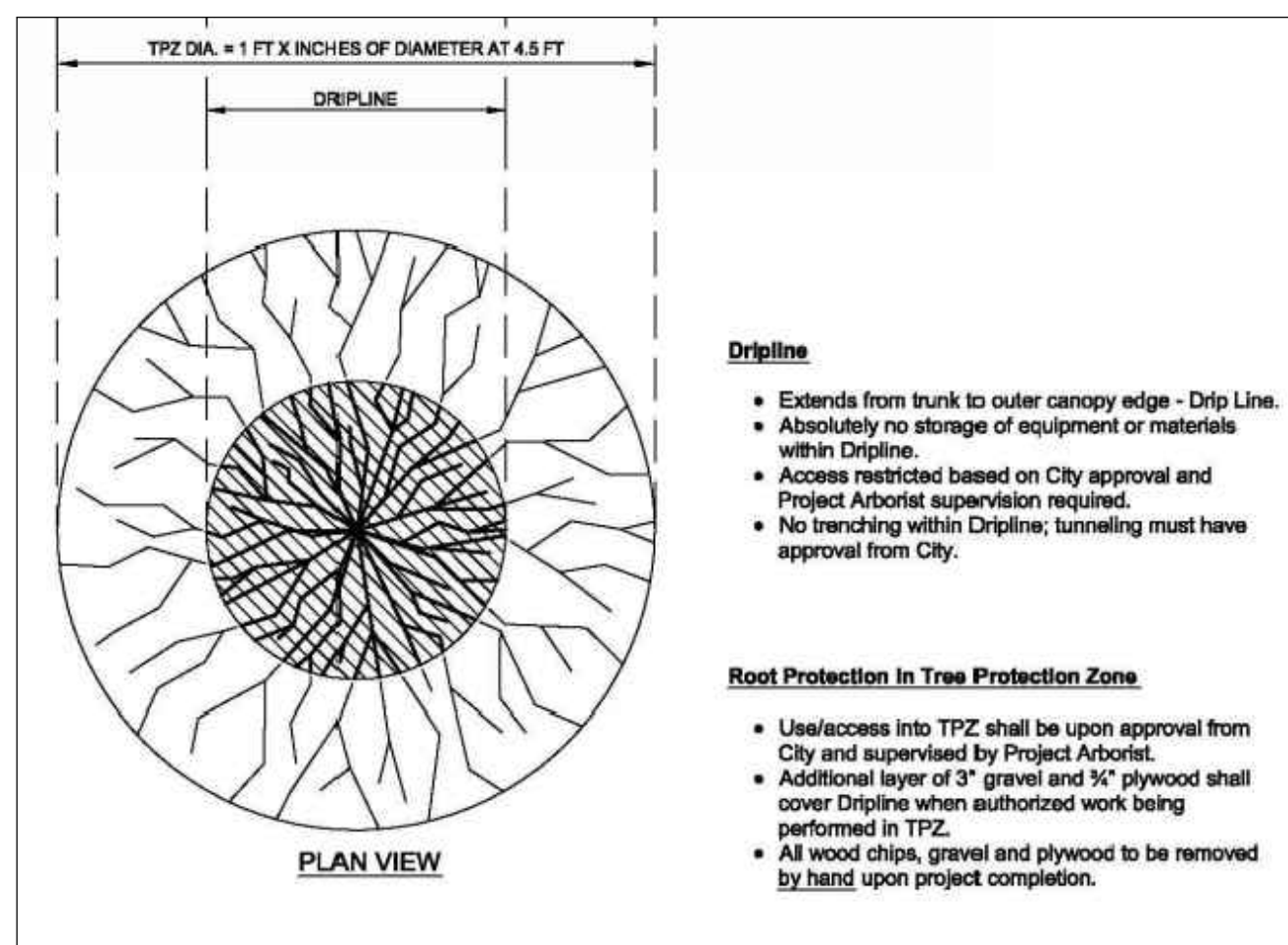
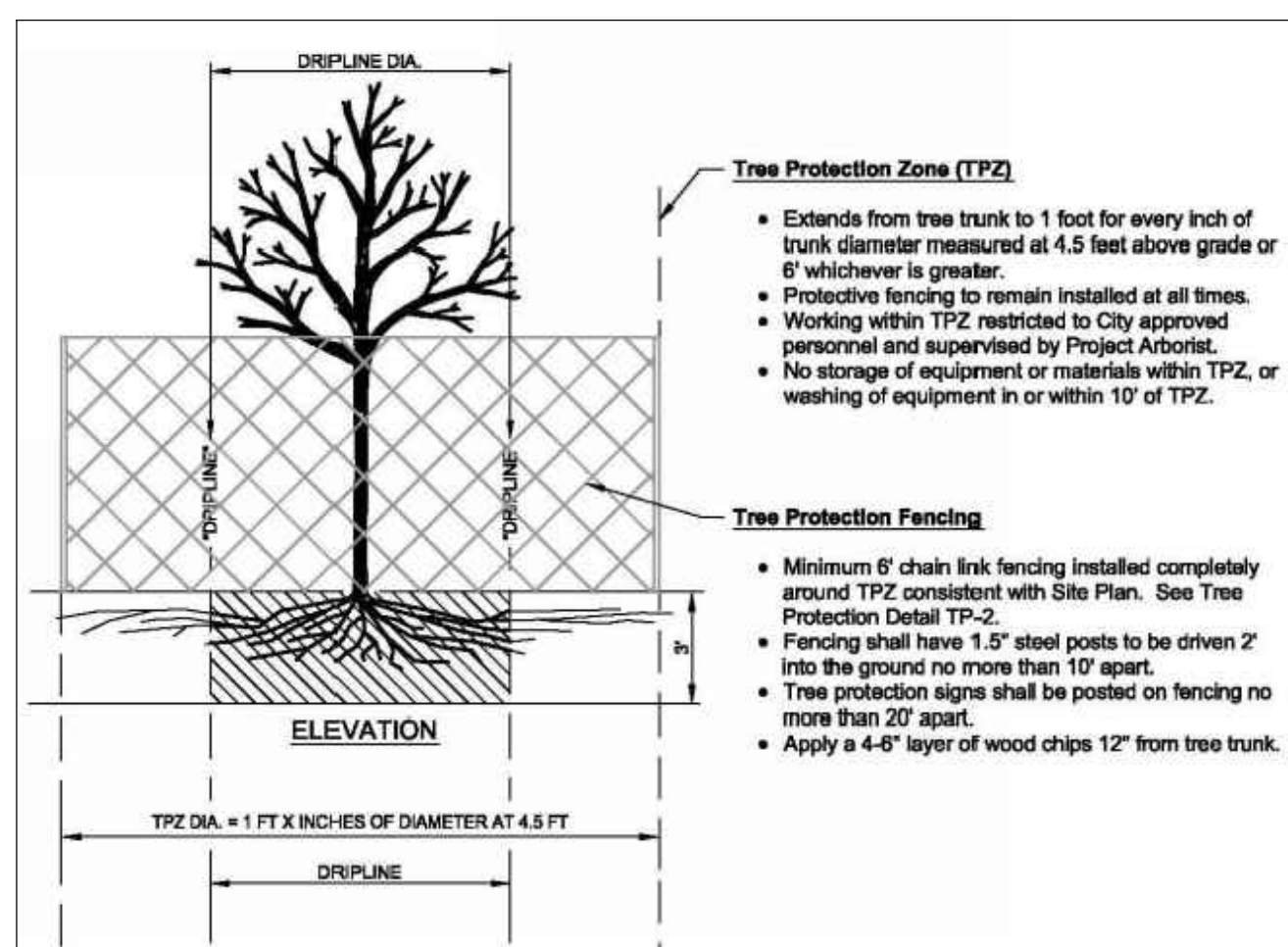
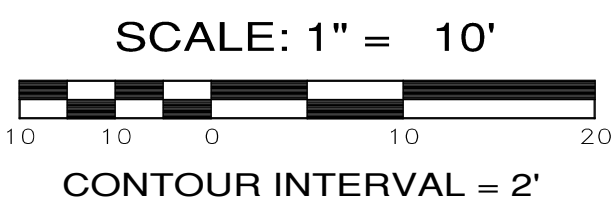
SUGGESTED SWPPP SEQUENCE

- MARK CLEARING LIMITS, CRITICAL AREAS, AND BUFFER. THE PERIMETER OF THE AREA TO BE CLEARED SHALL BE MARKED PRIOR TO CLEARING OPERATION WITH VISIBLE FLAGGING, ORANGE PLASTIC BARRIER FENCING AND/OR ORANGE SILT FENCING AS SHOWN ON THE SWPPP SITE MAP. VEHICLE ARE ONLY ALLOWED IN THE AREAS TO BE GRADED, SO NO COMPACTION OF THE UNDEVELOPED AREAS WILL OCCUR.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE WHERE NECESSARY
- INSTALL PROTECTION FOR EXISTING DRAINAGE SYSTEMS AND PERMANENT DRAIN INLETS
- ESTABLISH STAGING AREAS FOR STORAGE AND HANDLING POLLUTED MATERIAL AND BMPs
- INSTALL SEDIMENT CONTROL BMPs
- GRADE AND INSTALL STABILIZATION MEASURES FOR DISTURBED AREAS
- MAINTAIN BMPs UNTIL SITE STABILIZATION, AT WHICH TIME THEY MAY BE REMOVED



ROCK-LINED CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



TREE PROTECTION DETAIL

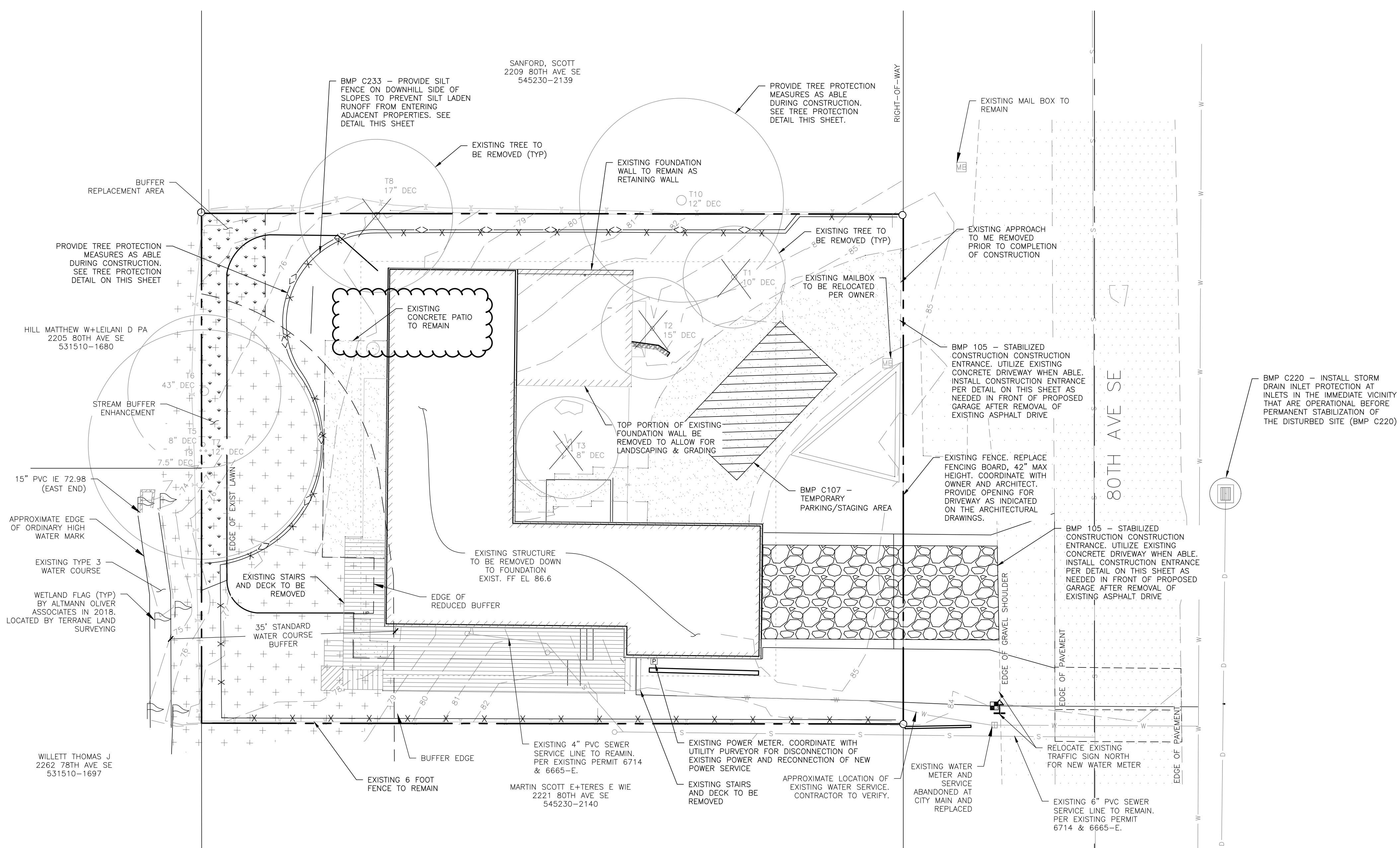
NOT TO SCALE

PERMANENT & TEMPORARY SEEDING

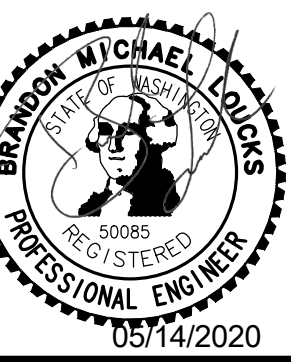
- SEEDING MAY BE USED THROUGHOUT THE PROJECT ON DISTURBED AREAS THAT HAVE REACHED FINAL GRADE OR THAT WILL REMAIN UNWORKED. SEED AND MULCH ALL DISTURBED AREAS NOT OTHERWISE VEGETATED OR STABILIZED.
- SEED DURING SEASONS MOST CONDUCTED TO PLANT GROWTH. FOR WASHINGTON THIS IS BETWEEN APRIL 1 THROUGH JUNE 20 AND SEPTEMBER 1 THROUGH OCTOBER 1. SEEDING THAT OCCURS BETWEEN JULY 1 AND AUGUST 30 WILL REQUIRE IRRIGATION UNTIL 5 PERCENT GRASS COVER IS ESTABLISHED. SEEDING THAT OCCURS BETWEEN OCTOBER 1 AND MARCH 30 MAY REQUIRE MULCH OR PLASTIC COVER UNTIL 75 PERCENT GRASS COVER IS ESTABLISHED.
- REFER TO BMP C120 IN THE STORMWATER MANUAL FOR WESTERN WASHINGTON; VOLUME II FOR FURTHER DETAILS.

MAPPING NOTES

- SITE BOUNDARY AND CONTOURS PROVIDED BY TERRANE SURVEYING, MAPS DATED 01/07/19.
- HOUSE, SITE LAYOUT, WATERCOURSE LOCATION WITH ASSOCIATED BUFFER PROVIDED BY MZA ARCHITECTURE ON 01/17/19.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION OF SPECIFIC UTILITY.
- CONTRACTOR SHALL KEEP DETAILED NOTES FOR USE DURING ASBUILT DRAWING PREPARATION.
- TREE NUMBERS PER ARBORISTS NW, LLC REPORT



REVISIONS		
NO.	DESCRIPTION/DATE	BY
1	CITY COMMENTS AUGUST 1, 2019	ESM
2	CITY COMMENTS SEPTEMBER 23, 2019	ESM
3	CITY COMMENTS JANUARY 14, 2020	ESM
4	ADDED BACK PATIO MAY 14, 2020	ESM



ESM CONSULTING ENGINEERS LLC
 33400 8th Ave S, Suite 205
 Federal Way, WA 98003
 (206) 838-6113
 (425) 297-9900
 www.esmcivil.com
 Civil Engineering
 Public Works
 Land Planning
 Landscape Architecture
 Project Management
 Surveying

MZA ARCHITECTURE
PAEK RESIDENCE
 DEMO & TESC PLAN
 CITY OF MERCER ISLAND, WASHINGTON

JOB NO.:	1954-003-018
DWG. NAME:	
DESIGNED BY:	BML
DRAWN BY:	BML
CHECKED BY:	
DATE:	04/30/2019
DATE OF PRINT:	

CALL 48 HOURS
BEFORE YOU DIG
811

C1

OF SHEETS

A PORTION OF A PORTION OF THE SE QUARTER OF SECTION 01, TOWNSHIP 24 N., RANGE 04 E., W.M.

SOIL QUALITY GUIDLINES

2014 SWMMW, BMP TS.13

- SOIL RETENTION. RETAIN, IN A UNDISTURBED STATE THE DUFF LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING REMOVE AND STOCK-PILE THE DUFF LAYER AND TOPSOIL, IF ANY, ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.
- SOIL QUALITY. ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:
 - A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 5-10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
 - MULCH PLANTING BEDS WITH 2 INCHES OF ORGANIC MATERIAL
 - USE COMPOST AND OTHER MATERIALS THAT MEET THESE ORGANIC CONTENT REQUIREMENTS:
 - THE ORGANIC CONTENT FOR "PRE-APPROVED" AMENDMENT RATES CAN ONLY BE MET USING COMPOST MEETING THE COMPOST SPECIFICATION FOR BIORETENTION WITH THE EXCEPTION THAT THE COMPOST MUST HAVE AN ORGANIC MATTER CONTENT OF 40 PERCENT TO 65 PERCENT, AND A CARBON TO NITROGEN RATIO BETWEEN 25:1. THE CARBON TO NITROGEN RATIO MAY BE AS HIGH AS 35:1 FOR PLANTING COMPOSED ENTIRELY OF PLANTS NATIVE TO THE PUGET SOUND LOWLANDS REGION.
 - CALCULATED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIALS AS DEFINED ABOVE, OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND NOT EXCEEDING THE CONTAMINANT LIMITS IDENTIFIED IN TABLE 220-B, TESTING PARAMETERS, IN WAC 173-350-220

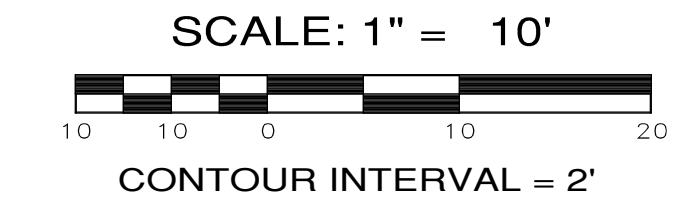
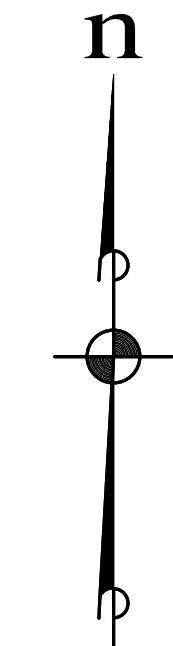
SOIL AMENDMENT OPTIONS

2014 SWMMW, BMP TS.13

- IMPLEMENTATION OPTIONS: THE SOIL QUALITY DESIGN GUIDELINES LISTED ON THIS SHEET CAN BE MET BY USING ONE OF THE METHODS LISTED BELOW:
- OPTION 1: LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL, AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
 - OPTION 2: AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT "PRE-APPROVED" RATES, OR AT CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND AMENDMENT.
 - OPTION 3: STOCKPILE EXISTING TOPSOIL DURING GRADING, AND REPLACE IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST ALSO BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS, EITHER AT A DEFAULT "PRE-APPROVED" RATE OR AT A CUSTOM CALCULATED RATE.
 - OPTION 4: IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS.
- MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE. SOIL THAT ALREADY MEETS THE DEPTH AND ORGANIC MATTER QUALITY STANDARDS, AND IS NOT COMPACTED, DOES NOT NEED TO BE AMENDED.

POST CONSTRUCTION SOIL INSPECTION

THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP TS.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.



SITE DATA

PARCEL NUMBER: 545230-2145
 SITE ADDRESS: 2215 80TH AVE SE, MERCER ISLAND, WA 98040
 SITE AREA: 8,800 SF (RECORDED), 8,810 SF (SURVEYED)
 ZONING: R-8.5
 REQUIRED SETBACKS:
 FRONT/GARAGE: 20 FT
 BACK: 25 FT
 INTERIOR: 10 FT EA (15 FT TOTAL)

ON-SITE IMPERVIOUS

NEW PLUS REPLACED
 TRIBUTARY TO DETENTION TANK
 SINGLE FAMILY ROOFTOP 2,495 SF (0.057 AC TO PUMP)
 CONCRETE DRIVE 437 SF
 TOTAL 2,932 SF (0.067 AC)
 SHEET FLOW DISPERSION
 EXPOSED WALKWAYS 233 SF

PROJECT IMPACTS

EXISTING (ALL TO BE REMOVED)
 SINGLE FAMILY ROOFTOP 3,629 SF
 SIDEWALK 0 SF
 BACK PATIO 112 SF
 DECK 317 SF
 SITE DRIVEWAY 850 SF
 TOTAL 4,908 SF
 REPLACED
 SINGLE FAMILY ROOFTOP 2,495 SF
 SIDEWALK 233 SF
 DECK 49 SF
 TOTAL REPLACED 2,777 SF
 NEW
 DRIVEWAY 437 SF
 TOTAL NEW 437 SF
 NEW + REPLACED 3,214 SF

EARTHWORK QUANTITIES

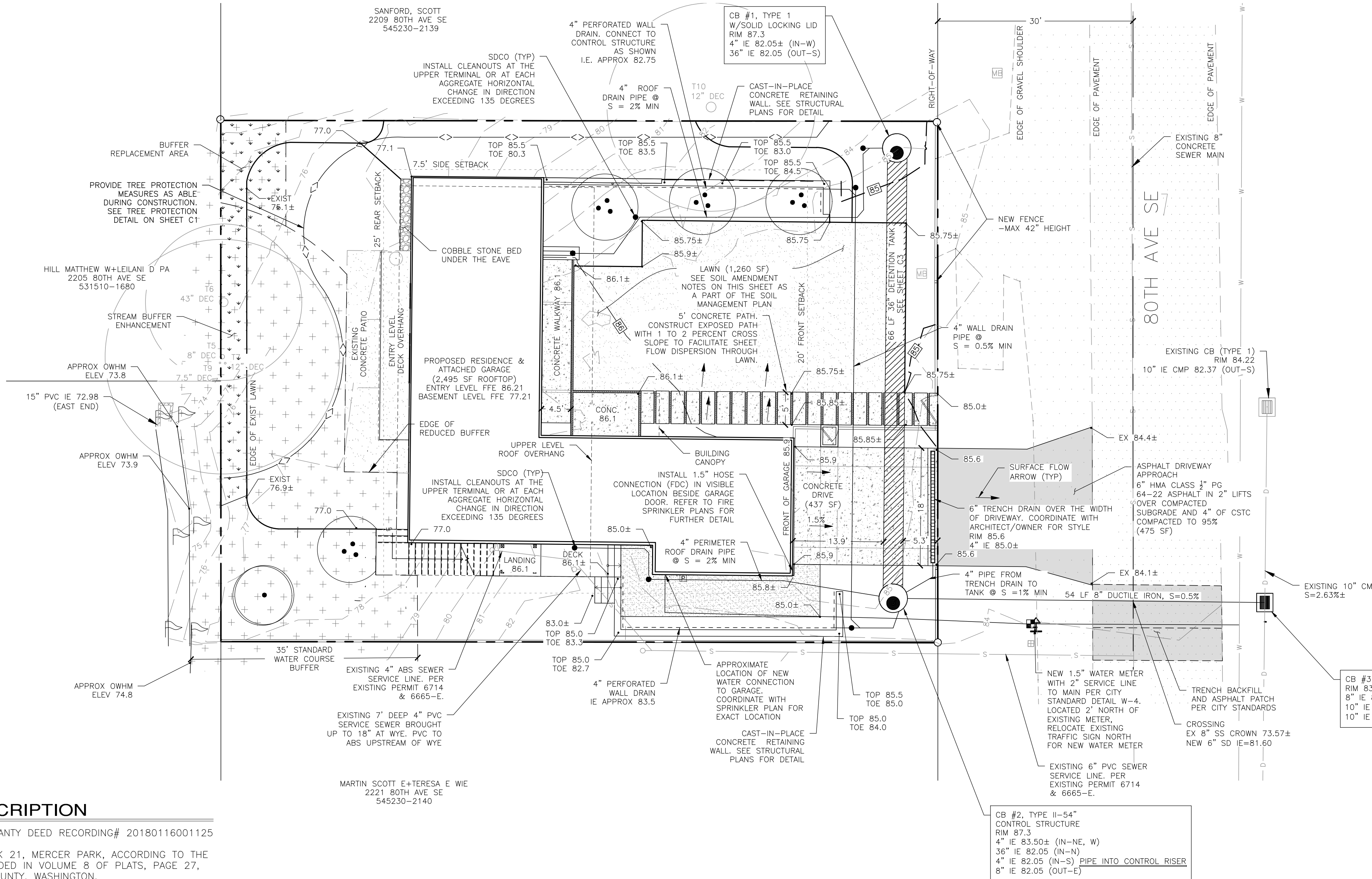
CUT 0 CY
 FILL 80 CY
 NET 80 CY (FILL)
 EARTHWORK VOLUMES SHOWN ARE ESTIMATES ONLY. CONTRACTOR SHALL VERIFY VOLUMES AS NEEDED.

FOOTING DRAIN NOTE

THE EXISTING FOOTING DRAIN WILL NOT BE ALTERED AND REMAIN IN PLACE. NO NEW CONNECTION FROM ANY SOURCES TO THE EXISTING FOOTING DRAIN ARE ALLOWED. IF THERE ARE ALTERATIONS OR CONNECTIONS TO THE EXISTING FOOTING DRAIN ARE NEEDED DURING THE CONSTRUCTION, THEN A NEW DESIGN FOR THE FOOTING DRAIN MUST BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.

LEGAL DESCRIPTION

PER STATUTORY WARRANTY DEED RECORDING# 20180116001125
 LOTS 3 AND 4, BLOCK 21, MERCER PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 9 OF PLATS, PAGE 27, RECORDS OF KING COUNTY, WASHINGTON.
 SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.
 SEE THE TOPOGRAPHY MAP PREPARED BY TERRANE LAND SURVEYING FOR THIS PROJECT FOR FURTHER PROJECT DESCRIPTION, CONTROL, AND EXISTING TOPOGRAPHY INFORMATION.



REVISIONS		
NO.	DESCRIPTION/DATE	BY
1	CITY COMMENTS AUGUST 1, 2019	ESM
2	CITY COMMENTS SEPTEMBER 23, 2019	ESM
3	CITY COMMENTS JANUARY 14, 2020	ESM
4	ADDED BACK PATIO MAY 14, 2020	ESM



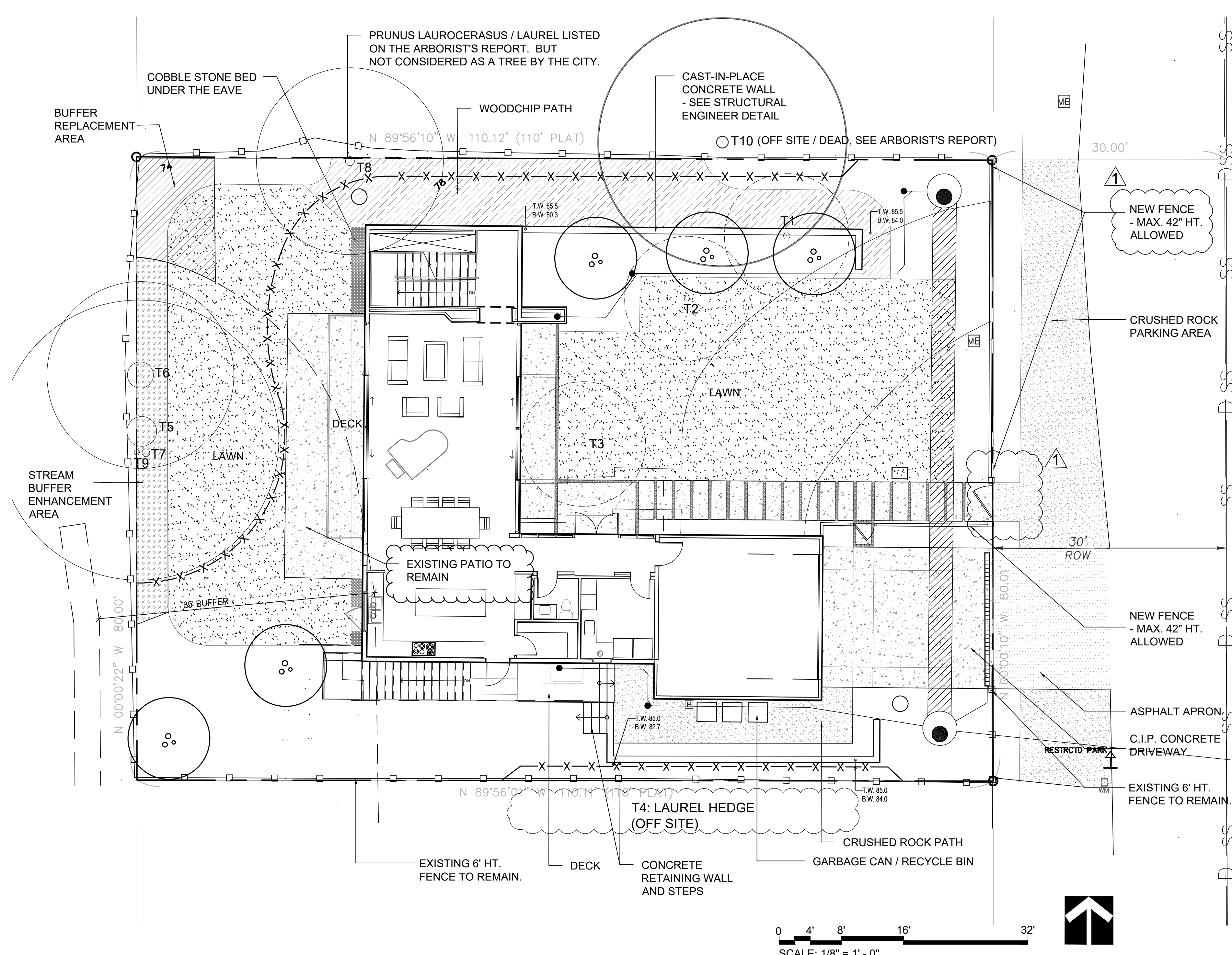
ESM CONSULTING ENGINEERS LLC
 33400 8th Ave S, Suite 205
 Federal Way, WA 98003
 (206) 838-6113
 (425) 297-9900
 www.esmcivil.com
 Civil Engineering
 Land Surveying
 Project Management
 Land Planning
 Landscape Architecture

MZA ARCHITECTURE
PAEK RESIDENCE
 DRAINAGE & GRADING PLAN
 CITY OF MERCER ISLAND, WASHINGTON

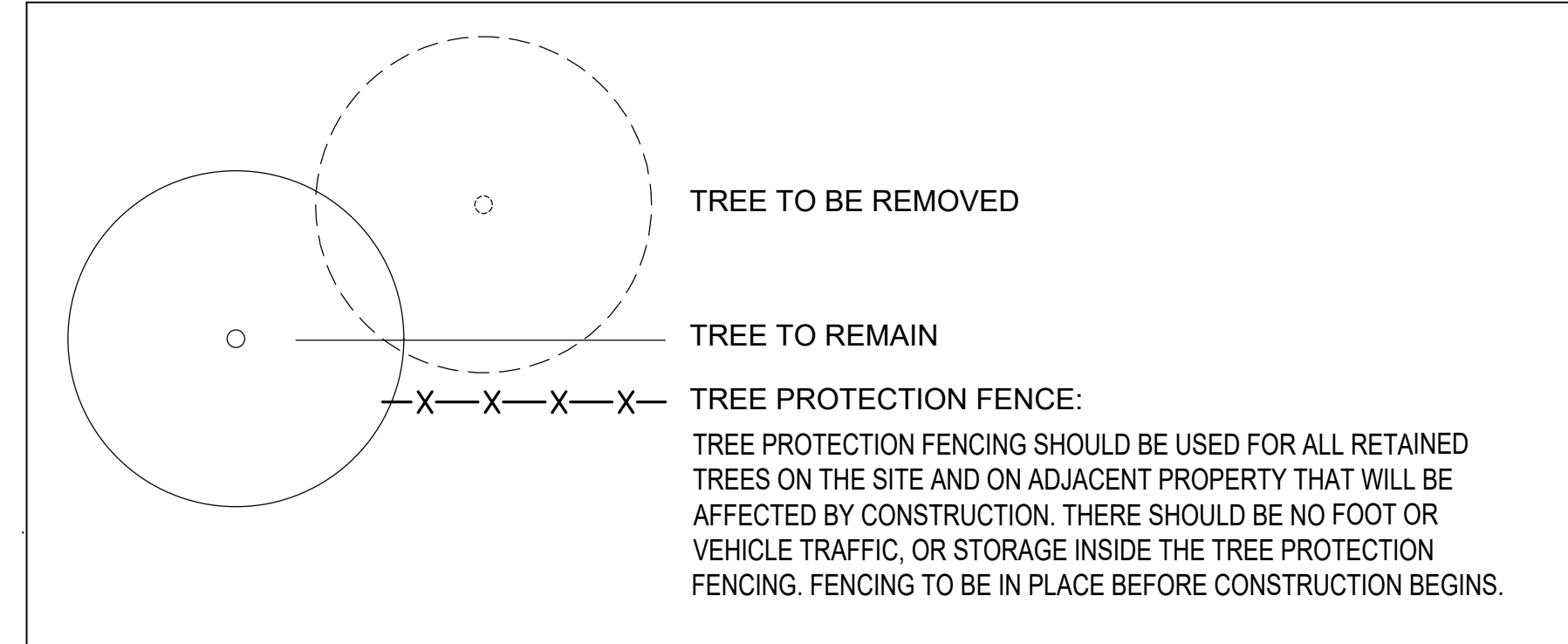
JOB NO.: 1954-003-018
 DWG. NAME:
 DESIGNED BY: BML
 DRAWN BY: BML
 CHECKED BY:
 DATE: 04/30/2019
 DATE OF PRINT:
C2
 OF SHEETS

CALL 48 HOURS BEFORE YOU DIG
 811

File: \\mzm\p\m\p\ESM-0085\1954\03\018\p\p\1954003018-Paek Residence CIVIL_2019-04-18.dwg
 Plotted By: Brandon Loucks
 Plotted: 5/14/2020 4:26 PM



LEGEND



TOTAL EXISTING TREES ON SITE

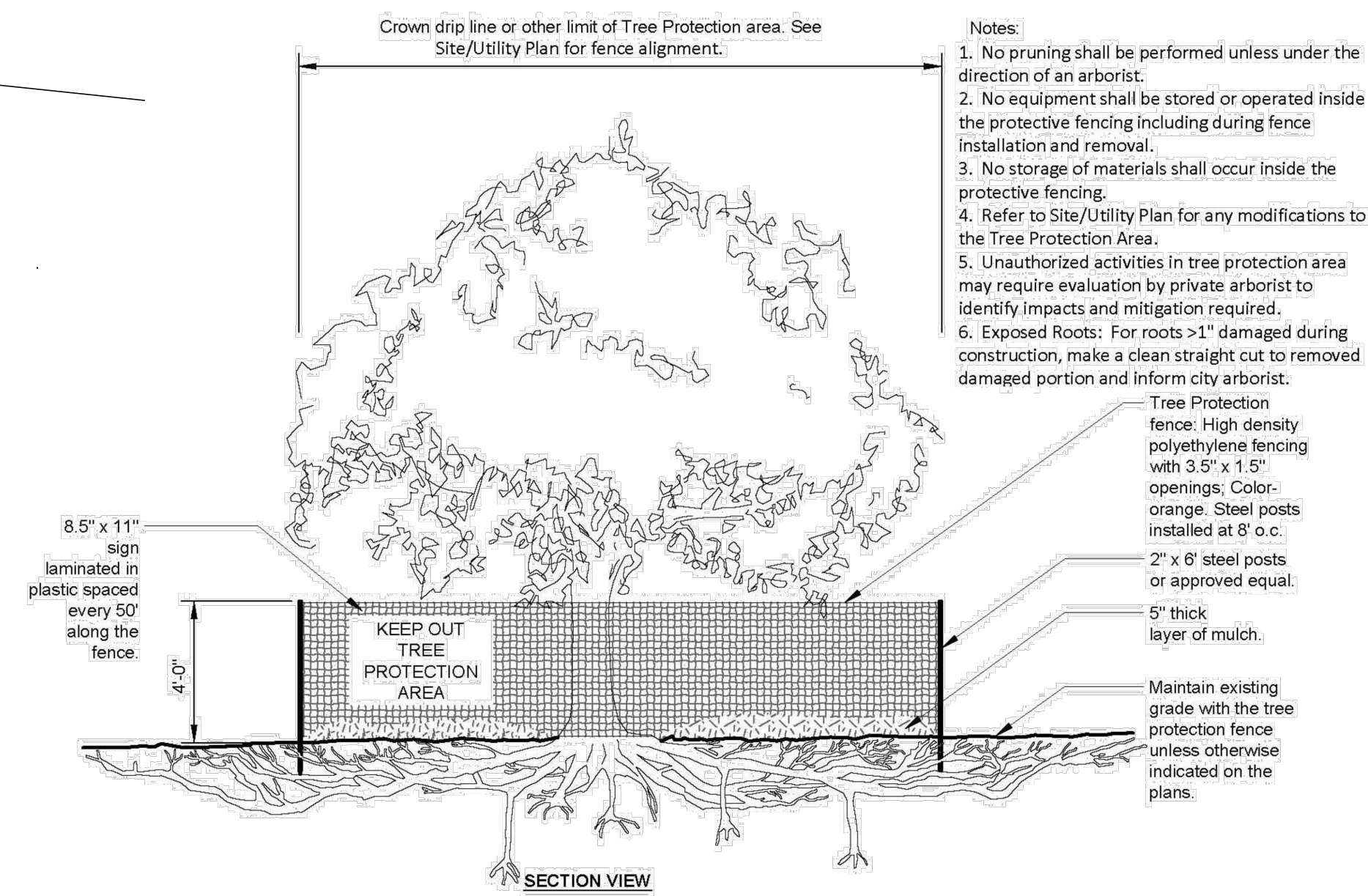
KEY #	DBH / TYPE	CLASSIFICATION	STATUS	# OF REPLACEMENT TREE REQUIRED
T1	10" DBH MALUS SP. / APPLE	LARGE	REMOVE	2
T2	15" DBH MALUS SP. / APPLE	LARGE	"	2
T3	8" DBH PRUNUS SP. / CHERRY	SMALL	"	1
T5	47" DBH POPLUS NIGRA / LOMBARDY POPLAR	EXCEPTIONAL	RETAIN	"
T6	43" DBH POPLUS NIGRA / LOMBARDY POPLAR	EXCEPTIONAL	"	"
T7	12" DBH FRAXINUS SP. / ASH	LARGE	"	"
T9	7.5" DBH ACER MACROPHYLLUM / BIG LEAF MAPLE	LARGE	"	"

TOTAL # OF REPLACEMENT TREE REQUIRED: 5

TOTAL EXISTING LARGE / EXCEPTIONAL TREES ON SITE: 6 TREES
TOTAL EXISTING LARGE / EXCEPTIONAL TREES TO BE RETAINED: 4 TREES (4/6*100 = 66.6% RETAINED) MIN. 30% REQUIRED. THEREFORE OK

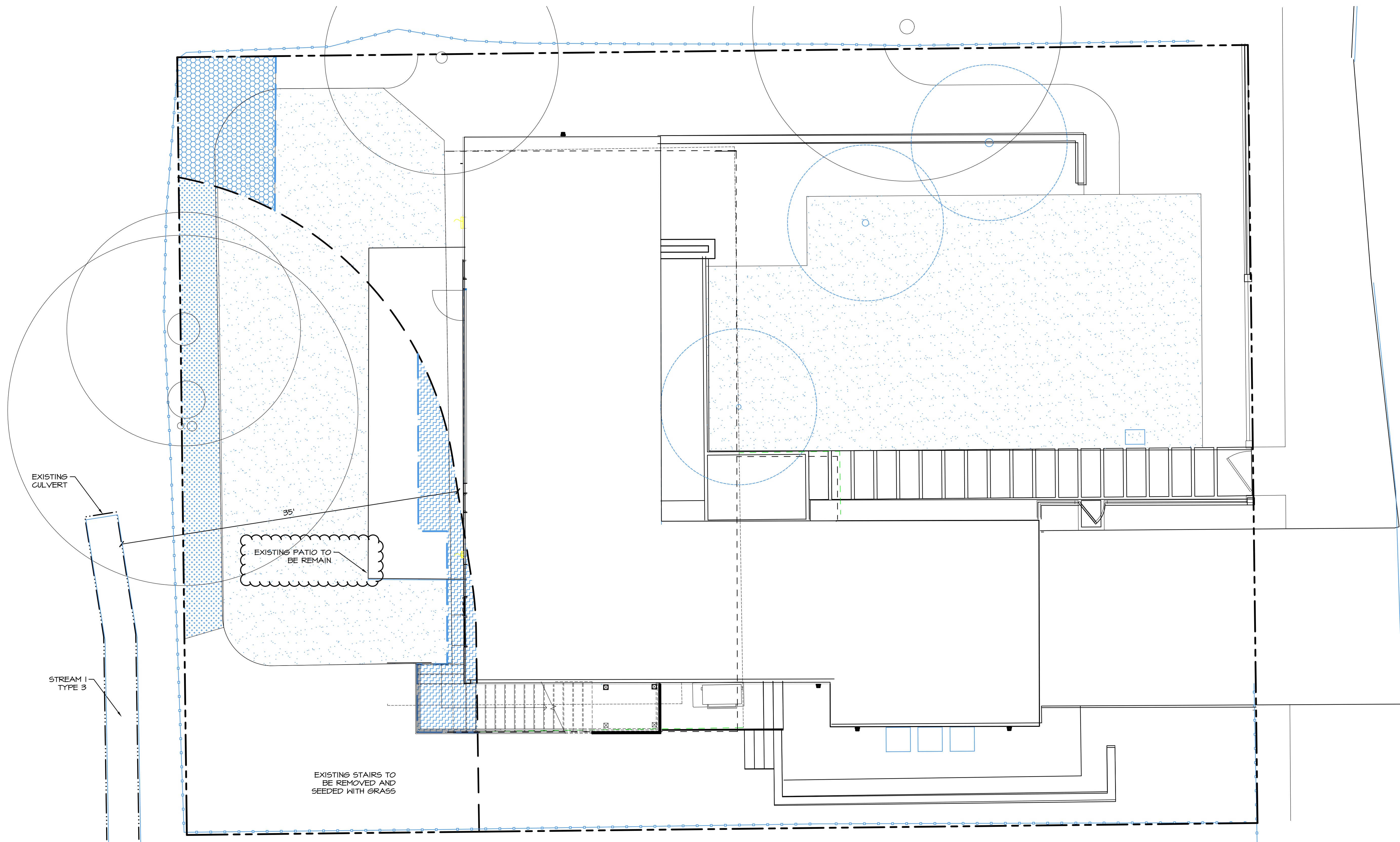
REPLACEMENT TREE SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY.	REMARKS
TREES				
	Acer circinatum Vine Maple	Min. 1.5" Cal. at base of trunk	5	Multi-trunk, full habit, well branched
TOTAL 5 TREES 5 TREES REQUIRED, THEREFORE OK				



A TREE PROTECTON FENCE DETAIL
SCALE: NTS

PROJECT PAEK RESIDENCE	
ADDRESS 2215 80TH AVE SE MERCER ISLAND, WA 98040	
CLIENT TIMOTHY PAEK	
1	REVISIONS 8/9/2019
2	REVISIONS: ADDED BACK PATIO 5/14/2020
NO. ISSUED DATE	
REVISIONS	
DRAWING STATUS	
Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.	
<p>ANR LANDSCAPE DESIGN</p> <p>22310 98th Ave. W Edmonds, WA 98020 p. 206.818.3610</p> <p>STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT <i>Christy N. Rapelle</i> ANRI N. RAPELLE CERTIFICATE NO. 1055</p>	
STAMP	
DRAWING TITLE LANDSCAPE PLAN	
DRAWN ANR	DESIGNED ANR
DATE 04/30/19	
GRAPHIC SCALE As indicated	
PROJECT NO. 18-009	
DRAWING NO. L1.0	REVISION NO.



PLAN LEGEND

- PROPERTY LINE
- ORDINARY HIGH WATER LINE OF TYPE 3 STREAM
- 35' STANDARD STREAM BUFFER
- PROPOSED BUFFER

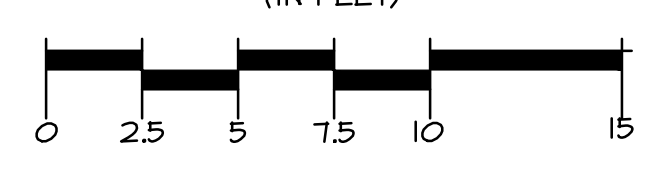
IMPACT LEGEND

- [Hatched Box] BUFFER REDUCTION 141 SF

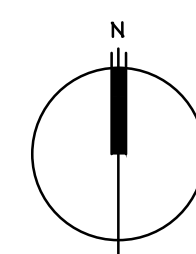
MITIGATION LEGEND

- [Hatched Box] BUFFER REPLACEMENT 141 SF
- [Hatched Box] STREAM BUFFER ENHANCEMENT 187 SF

GRAPHIC SCALE
(IN FEET)



SCALE: 1:5



GENERAL NOTES

1. BASE INFORMATION PROVIDED BY MZA ARCHITECTURE, 600 108TH AVE NE, SUITE 108, BELLEVUE, WA 98004, (425) 554-7888.

AOA
Environmental
Planning &
Landscape
Architecture

Altmann Oliver Associates, LLC
PO Box 378
Camas, WA 98014
Office (425) 333-4558 Fax (425) 333-4509

BUFFER AVERAGING PLAN
PAEK RESIDENCE
2215 80TH AVE SE
MERCER ISLAND, WA 98040

Revisions	Date	By
REVISIONS PER CITY	8/20/19	SO
REVISIONS PER CITY	1/14/20	SO
REVISIONS PER OWNER	5/12/20	SO

Date: 04-30-19
Scale: AS NOTED
Project#: 5200

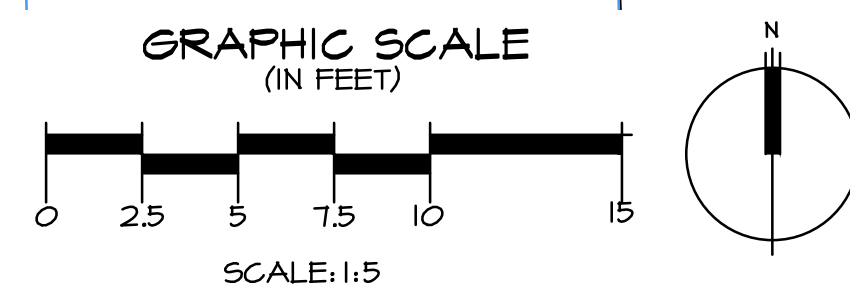
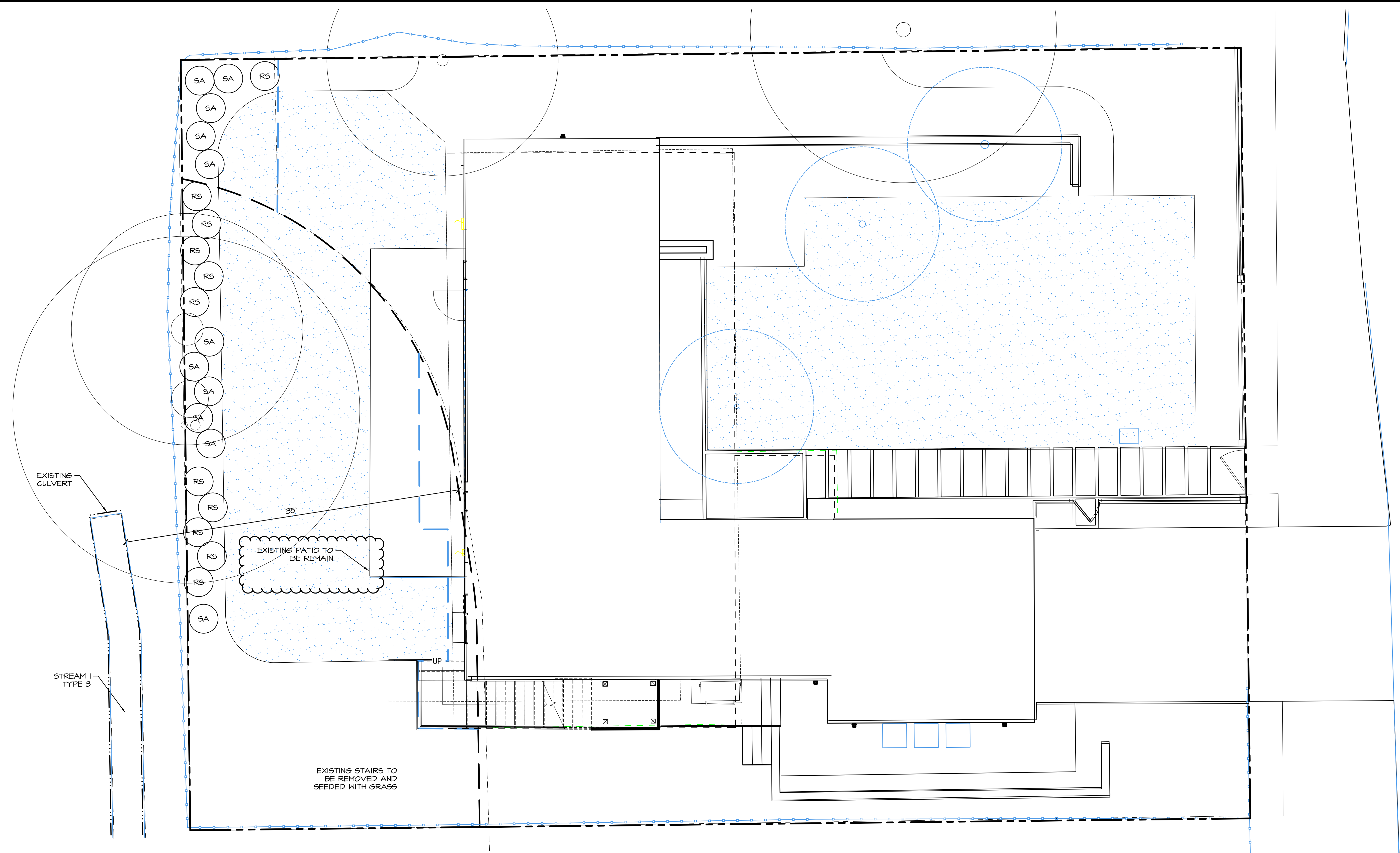
Sheet # **N-1**

**PLANTING PLAN
 PAEK RESIDENCE
 2215 80TH AVE SE
 MERCER ISLAND, WA 98040**

Revisions	Date	By
REVISIONS PER CITY	8/20/19	SO
REVISIONS PER CITY	1/14/20	SO
REVISIONS PER OWNER	5/12/20	SO

Date: 04-30-19
 Scale: AS NOTED
 Project #: 5200

Sheet # **N-2**



PLANT SCHEDULE

KEY	SCIENTIFIC NAME	COMMON NAME	SPACING	QTY.	SIZE (MIN.)	NOTES
RS	RIBES SANGUINEUM	RED CURRANT	3' O.C.	11	1 GAL.	MULTI-STEM (3 MIN.)
SA	SYMPHORICARPOS ALBUS	SNOWBERRY	3' O.C.	11	1 GAL.	MULTI-STEM (3 MIN.)

NOTES:
 1. THE PLANS WILL BE MONITORED TWICE, APPROXIMATELY ONE YEAR AFTER PLANT INSTALLATION (TO DETERMINE SURVIVAL AND REPLACEMENT) AND FIVE YEARS AFTER PLANT INSTALLATION TO ENSURE THE MITIGATION ACTIONS OF THE PROJECT ARE A SUCCESS.
 2. THE APPLICANT SHALL INSTALL AND HAVE INSPECTED FULL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO CONSTRUCTION.

GENERAL NOTES

1. BASE INFORMATION PROVIDED BY MZA ARCHITECTURE, 600 108TH AVE NE, SUITE 108, BELLEVUE, WA 98004, (425) 554-7088.